

A Guide for the Creation of Phase II



water·colorSM
A Southern Coastal Landscape.

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Introduction

Phase II of WaterColor is a continuation of the traditional patterns defined in Phase I. The Phase II Guide for the Creation of WaterColor builds upon the foundation and experience of Phase I in order to maintain and improve WaterColor and its quality of life. The ultimate goal is to create a place that preserves the uniqueness of this spectacular locale while developing authentic improvements that have an enduring embraceable character.

After three years of construction, the vision of WaterColor's Southern origins, the respect for the existing natural features and intimate small-town planning are becoming apparent. In Phase II, distinct identifiable neighborhoods continue to be thoughtfully interwoven with the surrounding native landscape. The ongoing integration of pedestrian oriented neighborhoods and natural paths will further impart an appreciation for the ecologically sound plan. Conservation areas, public spaces and vernacular structures are to once again harmoniously coexist to celebrate and confirm WaterColor's comfortable sense of unity and completeness.

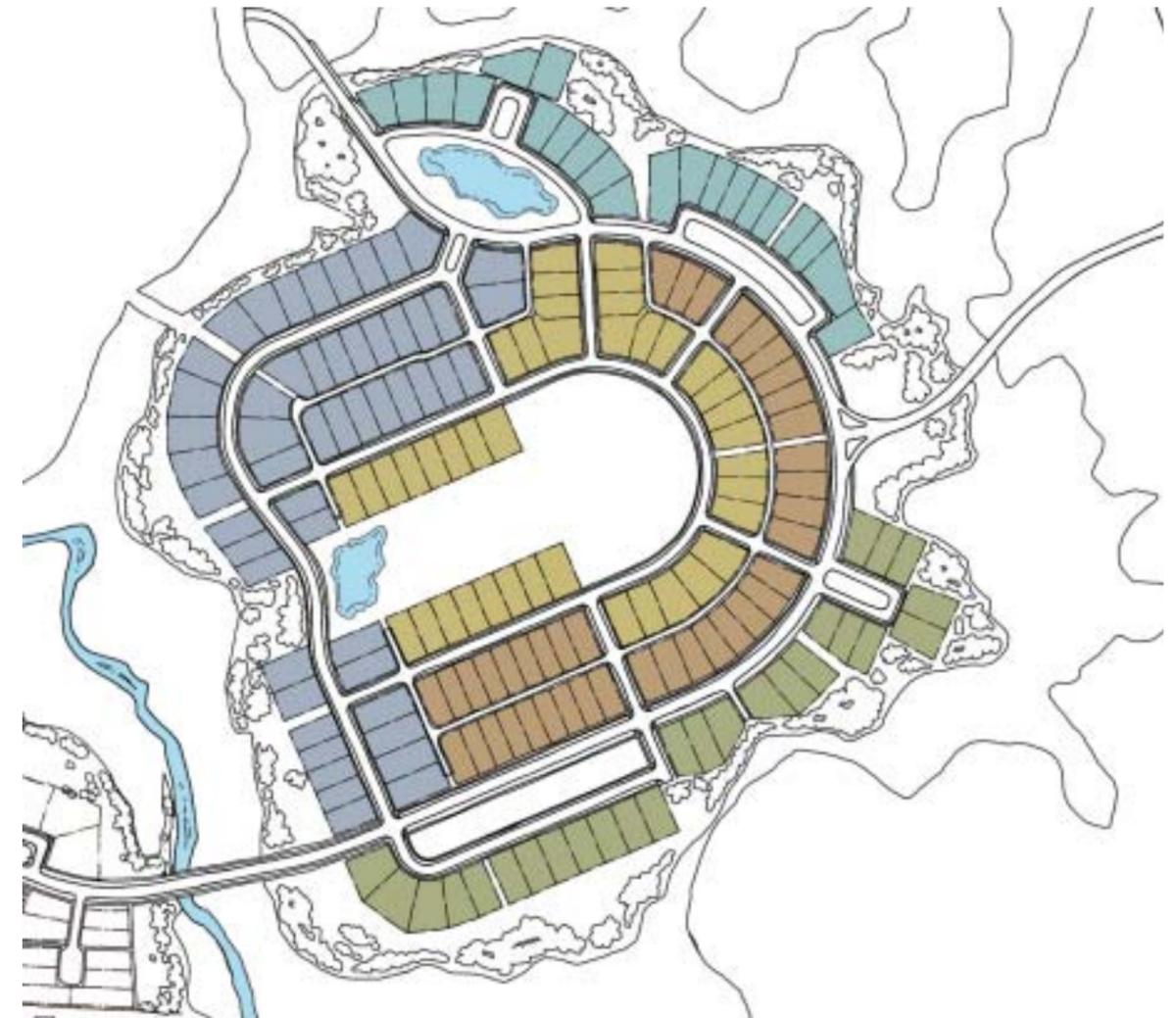
Shaped by and responding to the local environment, Phase II structures shall, as in Phase I, also be based on traditional plan forms, materials, architectural details and finishes typical of the American South. Owners and their architects are encouraged to further investigate and develop a deep understanding of the region's vernacular precedents. The intent in Phase II is to permit Owners to develop within these precedents and parameters a home composition that meets their vision and needs. The WaterColor Design Review Board wants to encourage the development of individual houses that have a unique character, that contain moderately conservative whimsical features and incorporate tasteful elements that reflect the personality and spirit of the original owner. While flexibility and variety are desired for all, the architectural choices shall remain unpretentious, relatively simple and restrained and in accordance with the best traditional Southern residential prototypes.

The Phase II Guide for the Creation of WaterColor refers to and is based on the Phase I Guide for the Creation of WaterColor. The text incorporated herein is intended to amplify, clarify and in a few instances amend the requirements described in the original document. The WaterColor Design Review Board extends an open invitation to all Owners and Architects who may want or need more information concerning any aspect of their design. The WaterColor Design Review Board expresses our appreciation for each Owner's and Architect's commitment to help make WaterColor a true and vital community that will provide wonderful memories for generations to come.

Lot Zone Criteria and Site Plan

See Page A6 and B1 of a Guide for the Creation of WaterColor for further definition and clarification of the zone and setback criteria listed below.

FRONT YARD SETBACK	Ten (10) Feet
FRONT FAÇADE ZONE	Twenty (20) Feet. This Zone is the region where the front porch and primary façade of the Main Body are located. The front porch shall be set on the Front Yard Setback line unless an increased setback will preserve significant trees. Lots that warrant having a carriage house in the front façade zone shall create and maintain a lively and social relationship with the street and the community.
SIDE STREET FAÇADE ZONE	Ten (10) Feet. This Zone is the region where the side porch and/or façade of the house are located on a corner lot. Corner houses shall maintain a presence along the full length of the side street façade zone and the house, a parking structure or carriage house shall be located in the side façade zone at the rear.
PRIVATE ZONE	70% of the Private Zone may be developed. The Private Zone is the potential building area inside the setbacks minus the front façade zone and any side and/or rear façade zones.
SIDE YARD SETBACK	Five (5) Feet for lots with a minimum width less than Forty-nine (49) Feet Seven and one-half (7½) Feet for lots with a minimum width between Fifty (50) and Sixty-nine (69) Feet Ten (10) Feet for lots with a minimum width of Seventy (70) Feet
SIDE STREET SETBACK	Ten (10) Feet
SIDE CORNER SETBACK	Ten (10) Feet
SIDE ALLEY SETBACK	Ten (10) Feet
REAR SETBACK	Ten (10) Feet except Five (5) Feet at Alleys
REAR VIEW FAÇADE ZONE	The Rear View Façade Zone occurs on perimeter properties in Eastern Cove, Pine Ridge and Mere Ridge. Located in the Private Zone and overlooking natural areas, the Rear View Façade Zone shall be Fifteen (15) Feet for lots that are One Hundred (100) Feet or less and Twenty (20) Feet for lots greater than One Hundred (100) Feet. The total width of the house located in the Rear View Façade Zone in Phase II may be up to Fifty (50) percent of the width of the Private Zone.



PHASE II SITE PLAN

- PINE RIDGE
- LAKE FORREST
- EASTERN COVE
- CINNAMON FERN
- MERE RIDGE

House Site Plan Criteria

DOUBLE- LOT STANDARDS

Only perimeter lots overlooking natural areas in Eastern Cove, Pine Ridge and Mere Ridge may be combined when approved by Arvida and the Design Review Board. A combined double lot may not be adjacent to another double lot. Double-lot specifications shall be negotiated with Arvida at the time of purchase. See page B9 in *A Guide for the Creation of WaterColor for Phase I Double-Lot Specifications*.



ENCROACHMENTS

Only stair treads, roof overhangs and compressors may be located in the setback areas. Compressor screens and roof overhangs may be no closer than two and one-half (2.5) feet from the property line. Variances that comply with government regulations may be granted for architectural merit.

PORCH LOCATIONS

A full façade first floor porch is required on the front façade of all houses. Corner lot houses shall have a minimum 24' wide x 8' deep side street porch. Perimeter houses in Eastern Cove, Pine Ridge and Mere Ridge that face the lake or natural areas shall have rear full façade porches on the first and second floor (where applicable). See page C4 in *A Guide for the Creation of WaterColor for further information on Porches*.



HOUSE IDENTIFICATION

Front or front and rear address identification in accordance with WaterColor's established construction and graphic standards is required for all houses. All houses shall be identified by the standard WaterColor wooden plaque. The numbered wooden plaque is readily available from Boardwalk Signs (850-265-0988). One plaque shall be located to the left of the pedestrian entrance on the standard WaterColor post and rail fence. Houses with front drive entrances are not required to locate a post in the rear. Houses with rear vehicular entrances shall locate an additional post and numbered wooden plaque adjacent to the drive. All temporary house numbers shall be removed when construction is complete.



Addresses

Pine Ridge



HOUSE SIZE

TYPE B

1-1/2 to 2-1/2 Stories – Lots 2-11, 14, 17-18, 20-21 and 24-25

TYPE C

2 to 2-1/2 Stories – Lots 1, 12, 13, 15, 16, 19, 22-23 and 26

HOUSE LOCATION

The Main Body need not be placed in the Front Façade Zone except any structure located there shall comply with the intent of the Front Façade Zone and house compositions on Lots 19-26 shall also comply with the intent of the Front Façade Zone.

SECONDARY ELEMENTS

Towers are not permitted in Pine Ridge.
Cupolas or Widows Walks are permitted on all lots.

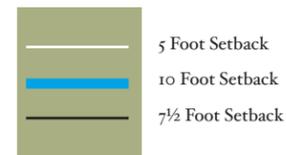
COLORS

Pine Ridge main bodies (Lots 1-18) shall be painted muted tones to blend in with the colors found along the lot borders and forest edge. The trim color may be monochromatic, tone on tone or a complementary contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

The main bodies and trim for eight houses (lots 19-26) clustered around the small square shall use a special palette of colors based on sand tones. Accent elements may be painted any deep color that is compatible with the palette.

See page 25 for a list of body colors for houses on lots 1-18 in Pine Ridge.

See page 25 for a list of body colors for houses on lots 19-26 in Pine Ridge.



Addresses

Lake Forest



HOUSE SIZE

TYPE A

1 to 1-1/2 Stories – Lots 2-8, 11-17, 20-25, 28-29 and 32-35

TYPE B

1-1/2 to 2-1/2 Stories – Lot 38

TYPE C

2 to 2-1/2 Stories – Lots 1, 9-10, 18-19, 26-27, 30-31, 36-37 and 39

SECONDARY ELEMENTS

A Tower (t) is allowed on Lots 1, 9-10, 18-19, 26-27, 36-37, 39

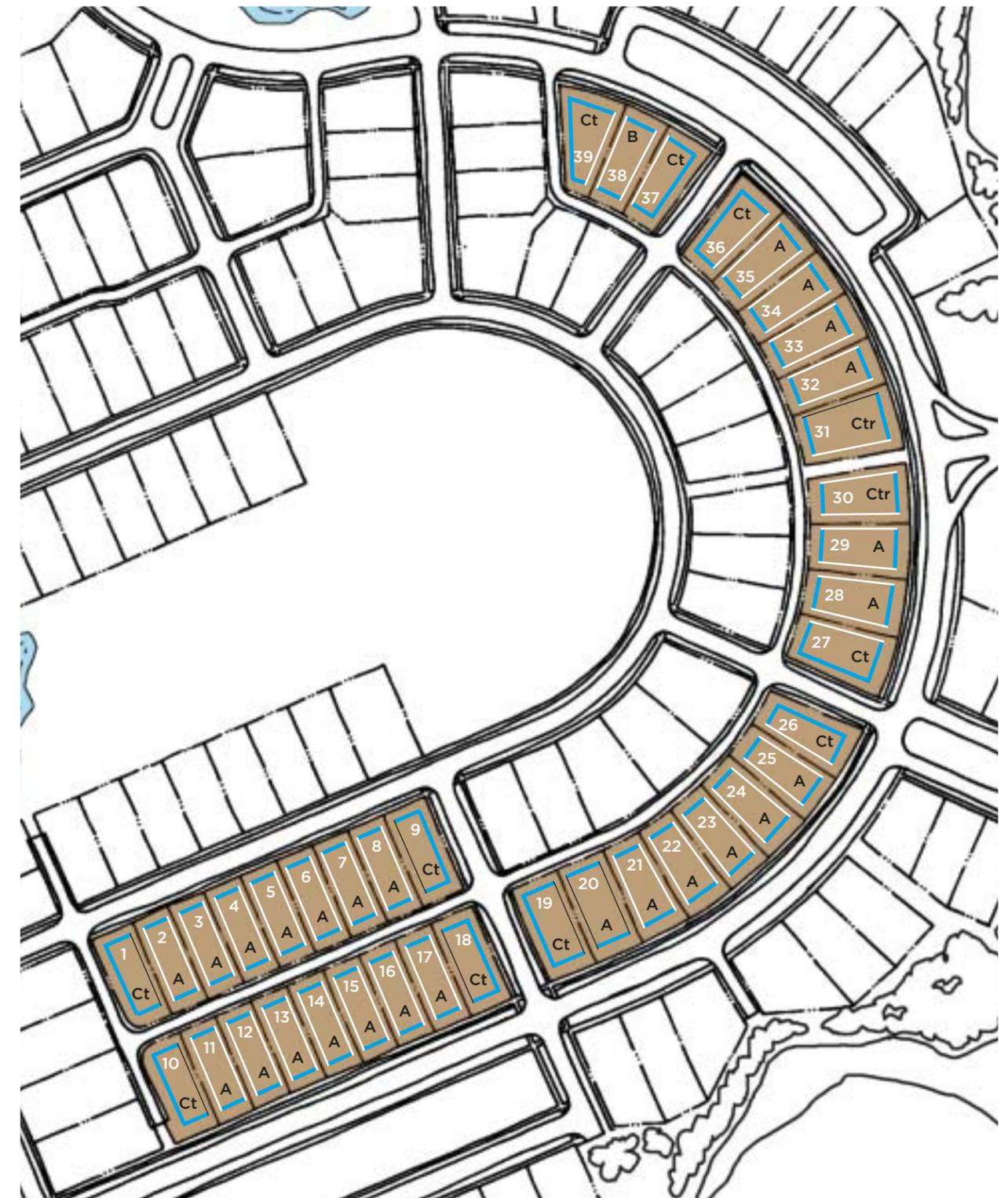
A Tower (tr) is required on Lots 30 and 31

Cupolas or Widows Walks are permitted on all lots.

COLORS

Lake Forest main bodies shall be painted medium hues as a transition between the camouflaged perimeter house colors and the muted yet lively colors around the park at Cinnamon Fern. The trim color may be monochromatic, tone on tone or a complementary contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

See page 25 for a list of body colors for houses in Lake Forest.



Addresses

Eastern Cove



HOUSE SIZE

TYPE A

1 to 1-1/2 Stories – Lots 35-40 and 27-32

TYPE B

1-1/2 to 2-1/2 Stories – Lot 2-6, 9-14, 17-22, 33, 41-43 and 50-51

TYPE C

2 to 2-1/2 Stories – Lots 1, 7-8, 15-16, 23-26, 34, 44-49 and 52

HOUSE LOCATION

The Main Body on perimeter houses need not be placed in the Front Façade Zone except any structure located there shall comply with the intent of the Front Façade Zone.

SECONDARY ELEMENTS

A Tower (t) is allowed on Lots 24-25, 34 and 41-52

Cupolas or Widows Walks are permitted on all lots.

STORM WATER REQUIREMENT

Lots 1-23 are required to have gutter and downspout systems that collect rain-fall runoff from the roof. The systems shall connect and discharge into a storm water tap and drainage system along Red Cedar Way.

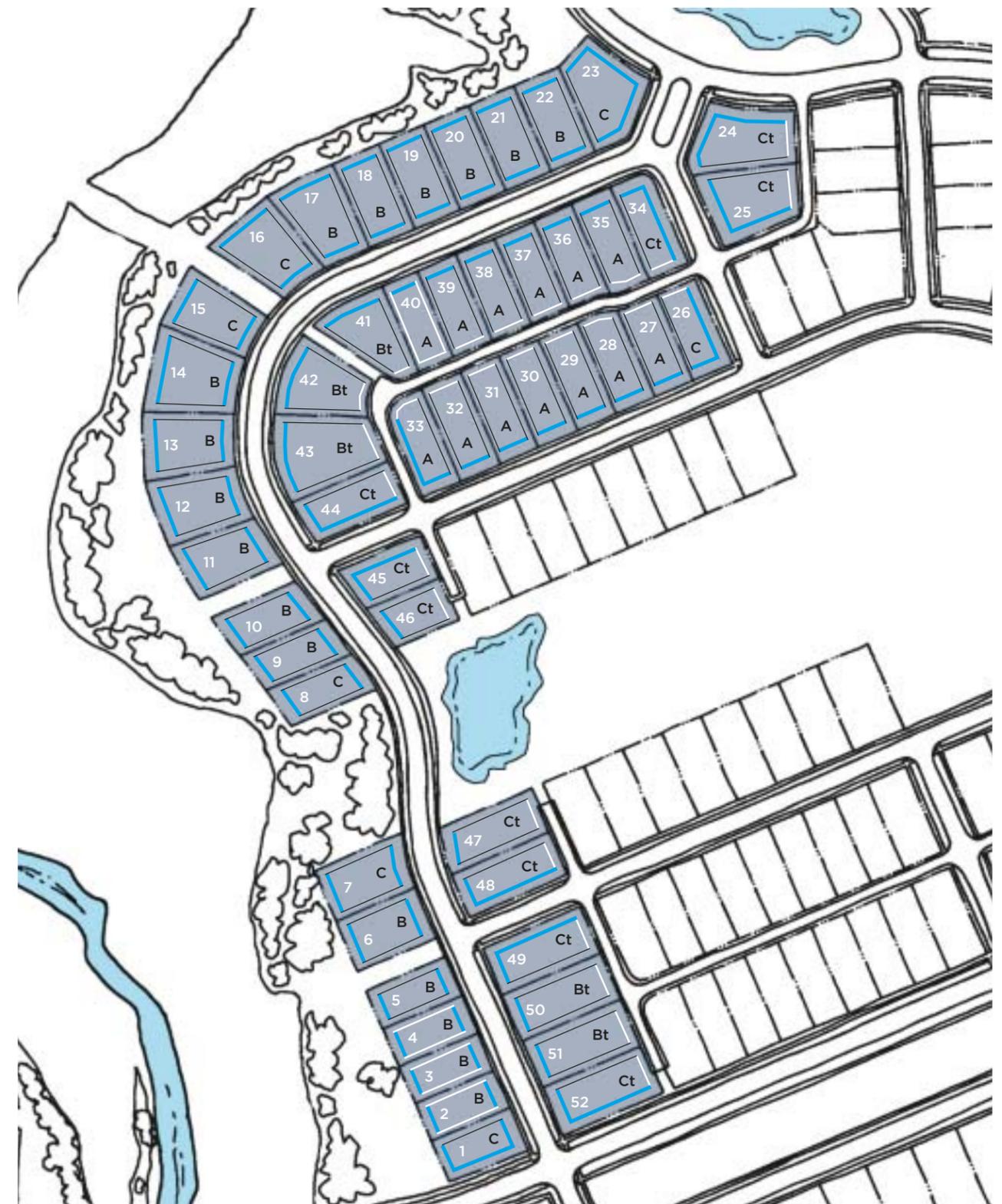
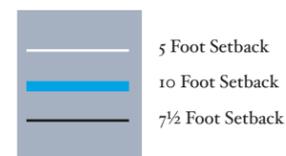
COLORS

Eastern Cove perimeter main bodies (Lots 1-23) shall be painted muted tones to blend in with the colors found along the lot borders and lake and forest edges. The trim color may be monochromatic, tone on tone or a contrasting color. Stark white trim and windows are not permitted on perimeter houses. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

Eastern Cove interior lot main bodies (Lots 24-52) shall be painted medium hues as a transition between the camouflaged perimeter house colors and the muted yet lively colors around the park at Cinnamon Fern. The trim color may be monochromatic, tone on tone or a complementary contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

See page 25 for a list of body colors for houses on lots 1-23 in Eastern Cove.

See page 25 for a list of body colors for houses on lots 24-52 in Eastern Cove.



Addresses

Cinnamon Fern



HOUSE SIZE

TYPE B

1-1/2 to 2-1/2 Stories – Lots 1-8, 10, 12-13, 16-17, 19, 22-23, 26, 29-31 and 33-40

TYPE C

2 to 2-1/2 Stories – Lots 9, 11, 14-15, 18, 20-21, 24-25, 27-28 and 32

SECONDARY ELEMENTS

A Tower (t) is allowed on Lots 11, 14, 15 and 18

A Tower (tr) is required on Lots 24 and 25.

Cupolas or Widows Walks are permitted on all lots.

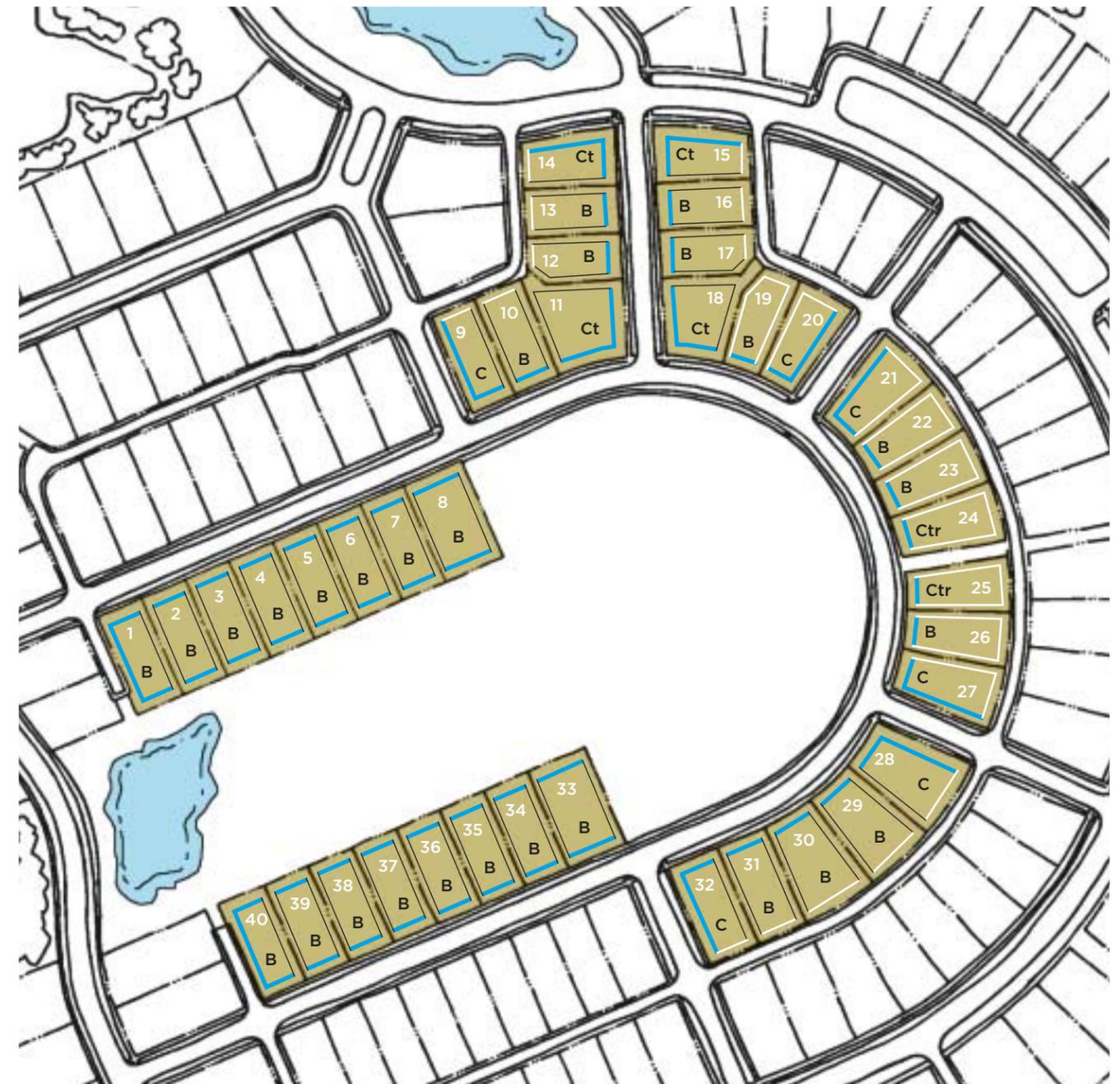
COLORS

Cinnamon Fern main bodies (Lots 1-11 and 18-40) shall be painted muted yet lively colors that reflect the active nature of the park. The trim color may be monochromatic, tone on tone or a contrasting color. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

The main bodies and trim for six houses (lots 12-17) shall use a special palette of colors based on sand tones. Accent elements may be painted any deep color that is compatible with the palette.

See page 25 for a list of body colors for houses on lots 1-11 and 18-40 in Cinnamon Fern.

See page 25 for a list of body colors for houses on lots 12-17 in Cinnamon Fern.



Addresses

Mere Ridge



HOUSE SIZE

TYPE B

1-1/2 to 2-1/2 Stories – Lots 3-9, 12-14 and 19-20

TYPE C

2 to 2-1/2 Stories – Lots 1-2, 10-11, 15-18 and 21

HOUSE LOCATION

The Main Body need not be placed in the Front Façade Zone except any structure located there shall comply with the intent of the Front Façade Zone.

SECONDARY ELEMENTS

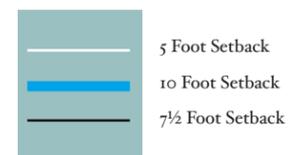
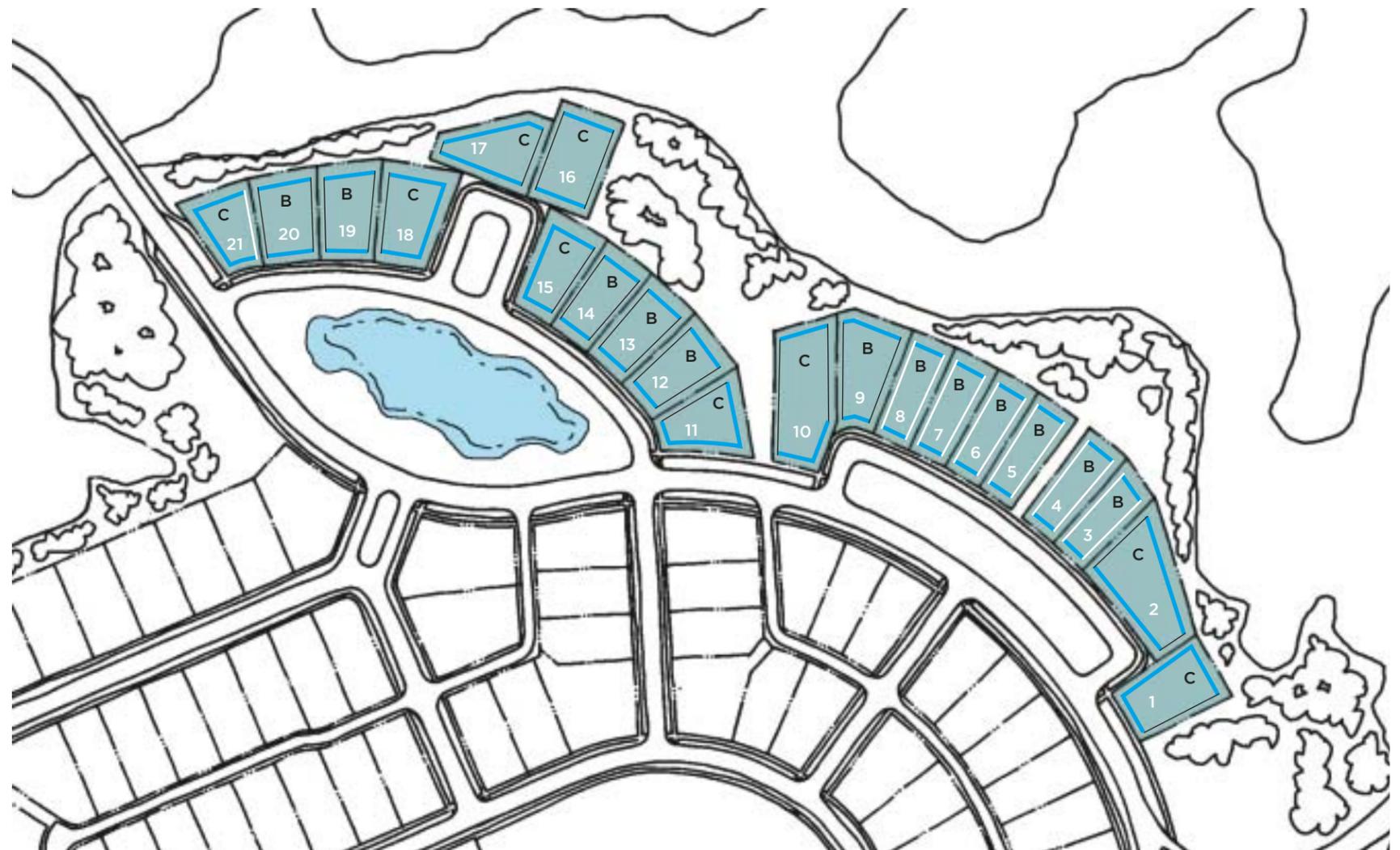
Towers are not permitted in Mere Ridge.

Cupolas or Widows Walks are permitted on all lots.

COLORS

Mere Ridge main bodies shall be painted colors that emulate dried soil, twigs and foliage found in the forest. The trim color may be monochromatic, tone on tone or a contrasting color. Stark white trim and windows are not permitted. The accent color shall generally be chosen to complement and contrast with the main body while also harmonizing with the main body and trim colors.

See page 25 for a list of body colors for houses in Mere Ridge.



The WaterColor House

Refer to Section C Architectural Patterns in *A Guide for the Creation of WaterColor* for the characteristics and details of a typical WaterColor home.

STYLE, CHARACTER AND COMPOSITION

See pages C1, C2 and C8 in *A Guide for the Creation of WaterColor* for precedents and prototypical WaterColor houses.

WaterColor Houses are based on vernacular Southern wood houses. This style is characterized by vertical proportions, deep roof overhangs and spare use of ornament in simple houses that have ample shade and ventilation. Typical qualities of a WaterColor House are:

- Simple, straightforward volumes

- One or two story, full façade and wrap around porches with simple wood columns

- Vertically proportioned windows and doors evenly spaced and coordinated with the porch bays.

- Wood siding

- Metal roofs with deep overhangs and exposed rafter tails

Aggregate forms and larger spaces may be created by combining side and/or rear wings with the Main Body. Wings shall be distinct from the Main Body. Gable, hip or shed dormers or belvederes may be added to introduce space and light into the half-story attic. The character of the wings and dormers should harmonize with the Main Body and conform to all requirements of the WaterColor Guide.

HEIGHT AND VOLUME

The first floor shall be set between 2-6 to 3-8 above grade

The floor to ceiling clear space on the principal floor shall be between 9-4 & 14-0.

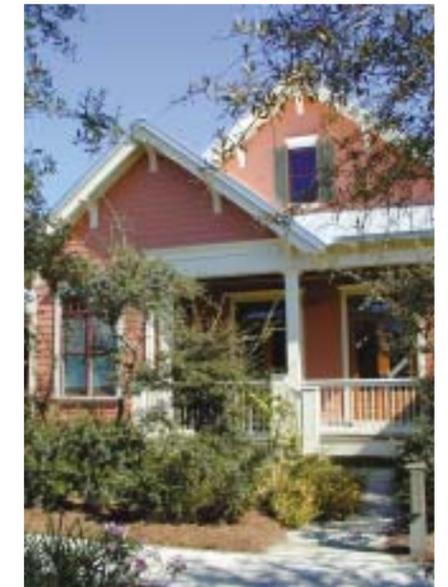
The floor to ceiling clear space on the secondary floor shall be between 8-0 and 12-0.

Half stories shall be constructed with dormers, cupolas, monitors etc within the attic area. The definition of a half story shown in *A Guide for the Creation of WaterColor* is no longer applicable.

The volumes shall be proportional to the mass of the house.

The head height elevations of each floor's openings and the overall height of the openings shall be balanced and in proportion to their respective story.

The sill elevation of first floor and principal floor openings shall be less than 3-0 above the floor.



The WaterColor House



The WaterColor House



The WaterColor House

PORCHES AND RAILINGS

See page C4 in *A Guide for the Creation of WaterColor* for typical porch and railing types.

Porches shall usually be located on the front setback line unless trees worth preserving are present. The clear space between columns and siding shall be a minimum of eight feet. Front Façade porches may be screened or partially shuttered. Approximately 32-35% of the first floor front porch may be enclosed with conditioned area. If used on the Front Façade, shutters must be operable between 3-6 and 8-0 minimum and the design shall respect the traditional neighborhood intent to promote a friendly community. Columns shall be simply detailed and shall be in proportion to the height, span and scale of the house. Butt board or T&G board ceilings with or without exposed beams and trim are encouraged. Railings shall be traditional wood with closely spaced members and small openings. Top rails shall be shaped to shed water.



The WaterColor House

PORCHES AND RAILINGS



The WaterColor House

PARKING

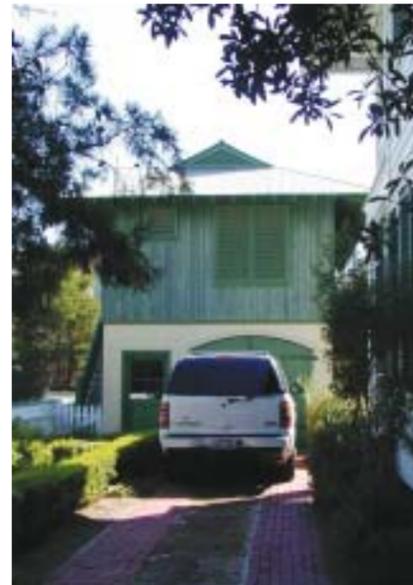
See page C4 in *A Guide for the Creation of WaterColor* for typical parking structures.

The impact of cars, trellis screens, carports and garages shall be designed to minimize the impact on all adjacent neighbors and the community. The number of required parking spaces shall relate to the sleeping capacity and number of families that may inhabit the house. Generally, the required number of spaces shall be:

2, 3 or 4 Bedrooms	2 spaces
5 Bedrooms	3 spaces
6 Bedrooms	4 spaces

Houses with a carriage house or two master suites shall require one additional space. Houses adjacent to an alley must locate the vehicular entrance on the alley. The minimum size of a parking space is 8-8 x 18 but architects are encouraged to plan for the large vehicles that are routinely used by owners and guests.

Parking structures shall be built within the setbacks and shall be designed in accordance with the regulations described in *A Guide for the Creation of WaterColor*. Parking buildings within the Front Façade Zone must be a carriage house w/ a living space above. It is important to minimize the presence of parking in the Front Façade Zone. Alley parking pads may use the rear setback area and alley easement. The precise location(s) shall be determined during the design approval process. Parking pads may be located within 3 feet of the side property line. Parking areas are to be screened from the adjacent lot. Attached garages should be designed as a carriage house with a distinct roof that is separated from the Main Body by a lower roof. Garage doors shall be designed for a single car. Garage doors must be paneled and they may incorporate glazing. Garage doors must be wood and shall be detailed to appear as traditional swinging, folding or sliding doors. Segmented doors are permitted only if they are constructed to appear to be one of these traditional door types and are subject to Design Board approval. When possible, it is preferred that garage doors do not directly face primary streets. When approved, garage doors facing the street shall be located thirty feet or more from the front property line.



The WaterColor House

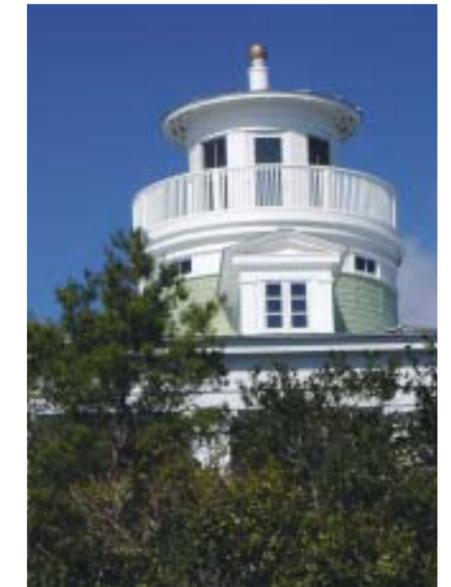
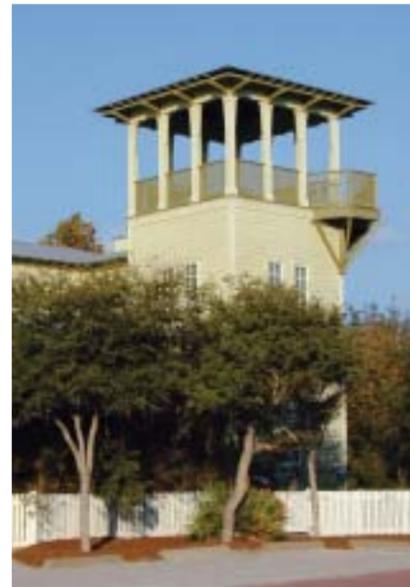
TOWERS, CUPOLAS, AND WIDOWS WALKS

Refer to page C7 in *A Guide for the Creation of WaterColor* for information and diagrams regarding Towers, Cupolas and Widows Walks.

Where permitted, Towers shall be a maximum of 225 SF and shall be in scale to the Main Body. Their floor plans shall be square or generally square in proportion. Towers may be located on the sides, rear or corners of the Main Body. Towers must relate to the house composition and respond to the rhythm of the façade. Towers may be detached from the Main Body and connected with a lower wing; directly attached to the Main Body or embedded within the Main Body mass. In all cases, at least one wall of the Tower shall be expressed to the ground on the exterior of the Main Body. Tower roofs may extend above the roof ridge by a maximum of 15 feet.

Widows Walks and Cupolas shall be centered within the mass of the Main Body. Widows Walks and Cupolas may not be larger than one fourth of the footprint of the Main Body. Widows Walks and Cupola bearing plates may extend above the roof ridge by a maximum of 7 feet. Widows Walks and Cupolas shall be in scale with the Main Body. Generally, the larger the area of the element, the lower it shall be in height.

All Towers, Cupolas and Widows Walks shall comply with local code and zoning requirements. Houses may have only one of these elements.



The WaterColor House

FOUNDATIONS

Stucco or brick piers with wood frames made of boards, vertical pickets or perpendicular lattice.



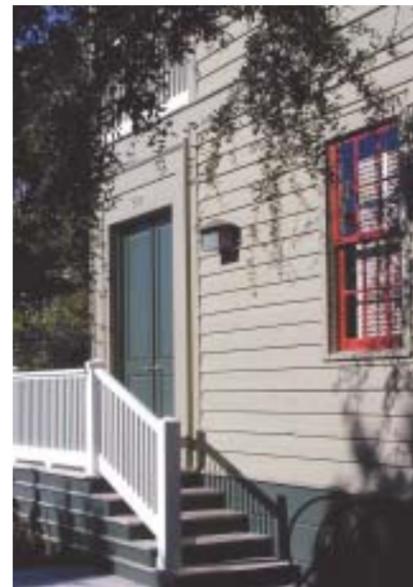
The WaterColor House

SIDING

Wood or fiber-cement boards in lap, flush or drop configuration. Wood or fiber-cement board and batten siding. Wood or fiber-cement board shingles applied in a simple pattern. Siding shall course to coordinate with the heads and/or jambs of window and door openings. All exterior fasteners shall be fabricated from corrosion resistant materials.

TRIM

Wood or Fiber-Cement Board. The use of wood is highly encouraged. If used, fiber cement boards shall be installed as supplied from the manufacturer. No field cutting of fiber-cement board will be permitted. Trim shall be in proportion to the size of the opening with a minimum width of 3-1/2 inches. Trim shall project a minimum of 1/2" past the leading edge of the adjacent siding. Most trim shall be flat. Any shapes must have a simple profile. Siding must abut trim (trim shall not be installed on top of siding).



The WaterColor House

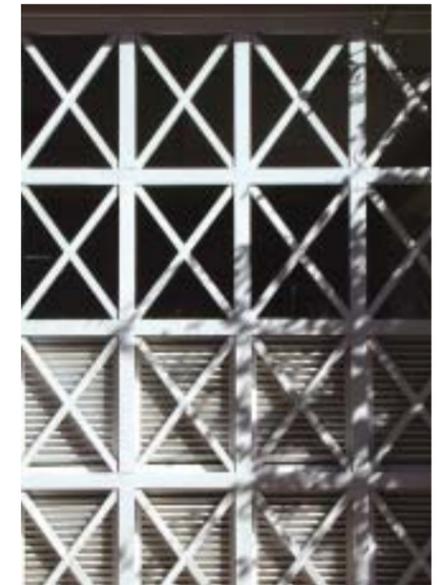
WINDOWS

See page C5 in *A Guide for the Creation of WaterColor* for typical windows.

Windows shall have vertical proportions and plain trim with minimal ornamentation. Windows shall be wood or clad with the appearance of traditional true-divided clear glass lights. Submit window manufacturer's specifications and color sample for approval.

SHUTTERS

Painted operable shutters are encouraged on single windows. Fiberglass shutters constructed to resemble wood are permitted. Hardware shall be corrosion resistant in a compatible color. Styles may be louvered, paneled or planked and awning shutters are permitted.



The WaterColor House

DOORS

See page C5 in *A Guide for the Creation of WaterColor* for typical doors.

Doors shall be wood or clad with clear glazing and/or flat panels. Glazing shall have the appearance of true divided lights. Typically centered in the bay, they may have sidelights and/or transoms. Exterior hardware shall be corrosion resistant. Submit door and hardware manufacturer's specifications for approval. Refer to the card lock requirements under Rental Houses if the Owner is going to place the house on the rental program. On private houses, Architects are encouraged to use a door in the prescribed location that can accept the rental mortise lock in order to facilitate future owners who may want to enter the rental program. Submit door manufacturer's specifications and color sample for approval.

SCREENS

Screens shall be framed between columns. Screens shall be a uniform synthetic charcoal or gray material. Use of painted metal frames with a replaceable spline is permitted.

RENTAL HOMES

In accordance with State of Florida Statutes and WaterColor standards, Owners who want to place their home on the WaterColor Rental Program are required to install the following equipment:

- Fire Extinguishers
- Smoke Detectors
- Latch Bolts
- Emergency Lighting
- Card Entry

At least one entry door adjacent to the parking shall be fitted with a Ving Davinci Mortise Lock.



The WaterColor House

ROOFS

Refer to page C2 in *A Guide for the Creation of WaterColor* for typical roof shapes and typical roof slopes.

Roofs shall be Galvalume or Galvalume Plus in a 5V crimp, corrugated or low profile (1.25" maximum) standing seam pattern. If a colored roof is specified it shall be painted with an approved preservation coating (no roof panels painted by the manufacturer at the factory may be installed). Eaves may have decking or evenly spaced purlins with exposed roofing.

GUTTERS

Half-circle galvanized, galvalume, copper or other approved metal gutters with circular downspouts or chains. Minimize splices and coordinate joints with the column and rafter rhythms.

FIREPLACES

Fireplaces shall be a traditional wood stove, zero-clearance insert, authentic masonry construction or an Isokern or Superior Clay Rumford unit. Wood stoves and zero-clearance inserts may have galvanized pipe flues braced to meet coastal wind load criteria. Masonry, Isokern and Superior chimneys shall be constructed from brick or stucco on reinforced masonry or concrete. Masonry, Isokern and Superior chimney caps shall be terra cotta or simple stone scaled to fit the chimney. Ventless fireplaces are not recommended but if used, they may be installed only if they do not have an impact on the exterior walls visible by the community.



The WaterColor House

OUT BUILDINGS AND STORAGE STRUCTURES

Out Buildings and Storage Structures shall be distinct from the Main Body. These structures may be attached to the Main Body by a separate (usually lower) connection. Carports below carriage houses shall be screened on the open sides to reduce the impact of cars on neighbors and the community. See page D6 in *A Guide for the Creation of WaterColor* for further information on *The Structure and Character of the Garden*.



The WaterColor House

MECHANICAL SCREENS

Compressors, meters and miscellaneous equipment shall be grouped and screened to minimize the impact on neighbors and the community. Screens can be comprised of either landscaping or landscaping and wood that is compatibly detailed to harmonize with the exterior. Each example shown here shall be supplemented with landscaping to create an additional visual and acoustical buffer. Exposed vents, grilles and other MEP components shall be coordinated with building elements and rhythms. Consider locating the dryer exhaust vent, hose bibs, waterproof outlets etc. below the first floor beam. Conceal these items to the extent possible and coordinate visible items with the foundation piers and screens. Where it is feasible, conceal other vents/grilles etcetera in the eaves.



The WaterColor House

EXTERIOR LIGHTING

Exterior lighting shall be kept to a minimum and shall be limited to porches, courtyards and to mark paths where necessary. The intent is to produce an enticing low level throughout the community that creates a warm ambience while maintaining views of the night sky and stars. The light source shall be shielded from view to the greatest extent possible. Bright spotlights are prohibited. Recessed fixtures shall be closed with a Fresnel lens or other appropriate glass diffuser. Globes shall be either uniformly opaque (i.e. frosted, acid etched etc.) or be hand blown with sufficient colonial era bubbles or a significant cage to obscure the lamp. All fixtures with an exposed bulb must use half mirrored lamps with a blacked out bottom or other deflecting and diffusing lamp types and techniques to shield the source of the light. The brightness of any single exterior house light fixture is not to exceed the lumen value of a 30W A bulb. The brightness of any single exterior site light fixture is not to exceed the lumen value of a 20W A bulb. These values shall be reduced if multiple closely spaced fixtures are installed. Refined and subtle fixtures that exhibit an authentic and distinct character are encouraged. All metals shall be corrosion resistant. Specification sheets for all exterior light fixtures shall be shown and included in the record set.



Color Palettes

Phase II colors shall be selected from the list of Benjamin Moore colors shown for each Address. Color sample cards for each address may be viewed in the Sales Office. Arvida reserves the right to retire colors or amend the palette at any time.

Pine Ridge Lots 19-26 and Cinnamon Fern Lots 12-17

OC-131 white down
OC-19 seapearl
OC-41 french canvas
OC-6 feather down
OC-30 gray mist
OC-42 old prairie
2143-50 old prairie
OC-31 fog mist
OC-139 sea wind
OC-5 maritime white
OC-44 misty air
OC-47 ashwood
OC-43 overcast
OC-10 white sand
OC-32 tapestry beige
OC-12 muslin
OC-15 baby fawn
HC-173 edgecomb gray
OC-16 cedar key
OC-11 clay beige
HC-81 manchester tan

Mere Ridge

2143-40 camouflage
HC-83 grant beige
HC-90 crown point sand
HC-80 bleeker beige
AC-1 coastal fog
2108-50 silver fox
2137-50 sea haze
HC-82 bennington gray
2111-50 stone harbor
AC-32 pismo dunes
HC-25 quincy tan
HC-23 yorkshire tan
HC-44 lenox tan
HC-95 sag harbor gray
HC-79 greenbrier beige
HC-108 sandy hook gray
HC-111 nantucket gray
HC-91 danville tan
HC-21 huntington beige
HC-102 clarksville gray
AC-2 berkshire beige
HC-98 providence olive
HC-105 rockport gray

2142-40 dry sage
Exterior Ready Mixed
briarwood
2139-40 heather gray
HC-89 northampton putty
HC-94 old salem gray
HC-107 gettysburg gray
HC-77 alexandria beige
2141-40 creekside green
AC-33 mesa verde tan
2140-40 storm cloud gray
2108-40 stardust
HC-110 wethersfield moss
HC-88 jamesboro gold
HC-97 hancock gray
2111-40 taos taupe
HC-86 kingsport gray
2138-40 carolina gull
2137-40 desert twilight
HC-104 copley gray
HC-101 hampshire gray
HC-168 chelsea gray
2143-20 alligator green
HC-76 davenport tan
HC-109 sussex green
HC-106 crownsville gray
AC-3 texas leather
HC-103 cromwell gray
HC-100 gloucester sage
HC-85 fairview taupe
2142-30 mountain moss
2139-30 sharkskin
2141-30 army green
2143-10 sage
2140-30 dark olive
2138-30 mohegan sage
2142-20 turtle green
2141-20 cabbage patch
2137-20 char brown
2139-20 dakota woods green
2138-20 green grove
2140-20 tuscan green

Pine Ridge Lots 1-18 and Eastern Cove Lots 1-23

All colors listed for Mere Ridge plus the following:
2122-40 smoke
HC-140 prescott green

2123-40 gossamer blue
2135-50 soft chinchilla
HC-146 wedgewood gray
HC-143 wythe blue
HC-139 salisbury green
HC-149 buxton blue
HC-114 saybrook sage
HC-111 nimbus gray
2136-50 colorado sky
2129-50 winter lake
HC-142 stratton blue
2122-30 cloudy sky
HC-17 summerdale gold
HC-123 kennebunkport green
HC-22 blair gold
2114-40 wet concrete
2135-40 province blue
HC-137 mill springs blue
HC-148 jamestown blue
2148-30 military tan
2152-30 autumn gold
2143-30 olive branch
2123-30 sea star
2144-30 rosemary sprig
HC-145 van courtland blue
2102-40 brown teepee
AC-23 jame river gray
2160-30 maple sugar
HC-113 louisburg green
2152-20 aztec yellow
2100-40 appalachian spring
2107-40 driftwood
2165-30 golden retriever
AC-17 sea pine
2099-40 autumn brown
HC-16 livingston gold
2109-40 smoked oyster
2104-40 new england brown
HC-136 waterbury green
2136-40 aegean teal
2160-10 caramel corn
2103-40 hickory stick
AC-20 mountain laurel
HC-161 templeton gray
2148-20 thyme
2113-40 cinammon slate
2162-30 warm tan
2144-20 eucalyptus leaf

2130-40 black pepper
2129-40 normandy
HC-112 tate olive
Ext Ready-Mixed
hamilton blue
HC-122 great
barrington green
HC-159 philisburg blue
HC-126 avon green
2148-10 foot hills
2123-20 caribbean teal
AC-24 charlotte slate
HC-125 cushing green
2049-30 teal ocean
HC-69 whitall brown
2050-30 Newport green
2095-30 butternut brown
HC-124 caldwell green
2100-30 english brown
AC-21 silver pine
2097-30 hedgehog brown
2135-30 nocturnal gray
HC-121 peale green
2101-30 warm brownie
2051-30 casco bay
2053-30 north sea green
2115-30 amazon soil
2102-30 pueblo brown
HC-160 knoxville gray
2104-30 harvest brown
2111-30 mustang
HC-65 hadley red
HC-135 lafayette green
2053-20 dark teal
2114-30 desert shadows
2103-30 peatmoss
2108-30 brown horse
2107-30 rockies brown
HC-68 middlebury brown
2102-20 pumppernickel
2113-30 bison brown
2109-30 wood grain brown
2112-30 stone brown
HC-70 van buren brown
2122-10 dark pewter
2141-10 artichoke
HC-133 yorktowne green
HC-134 tarrytown green

2112-20 brown sugar
2136-30 amazon green
2112-10 mink
2123-10 mediterranean teal
2142-10 mediterranean olive
2050-20 dollar bill green
2115-20 incense stick
HC-158 newburg green
2116-20 vintage wine
2062-20 gentleman's gray
2055-10 teal

Eastern Cove Lots 24-52 and Lake Forest

2156-50 asbury sand
HC-53 hathaway peach
OC-48 hazy skies
HC-31 waterbury cream
HC-18 adams gold
2143-40 camouflage
2122-40 smoke
HC-83 grant beige
HC-140 prescott green
2123-40 gossamer blue
2144-40 soft fern
2139-50 silver marlin
AC-1 coastal fog
2148-40 light khaki
HC-90 crown point sand
HC-80 bleeker beige
2142-50 gray mirage
2135-50 soft chinchilla
2175-50 peach blossom
HC-11 marblehead gold
HC-146 wedgewood gray
2152-40 golden tan
2158-40 golden mist
HC-9 chestertown buff
2141-50 horizon gray
HC-92 wheeling neutral
2140-50 gray horse
HC-82 bennington gray
HC-143 wythe blue
HC-139 salisbury green
HC-25 quincy tan
HC-149 buxton blue
2129-50 winter lake
2149-40 timothy straw

2151-40 sulfur yellow
HC-114 saybrook sage
2136-50 colorado gray
HC-15 henderson buff
HC-115 georgian green
2175- adobe dust
HC-118 sherwood green
AC-19 homestead green
2102-50 rose bisque
AC-22 nantucket fog
2138-50 misted green
2095-50 just beige

HC-8 dorset gold

HC-44 lenox tan
HC-10 stuart gold
HC-23 yorkshire tan
AC-16 kentucky haze
2103-50 sandblast
HC-95 sag harbor gray
HC-79 greenbrier beige
HC-91 danville tan
2113-50 mauve desert
HC-108 sandy hook gray
HC-14 princeton gold
HC-17 summerdale gold
HC-111 nantucket gray
2173-40 antique rose
HC-132 harrisburg green
HC-142 stratton blue
HC-7 bryant gold
2150-30 savannah green
HC-22 blair gold
2115-40 mauve blush
2122-30 cloudy sky
HC-123 kennebunkport green
2096-40 gaucho brown
HC-13 millington gold
HC-131 lehigh green
2149-30 fresh olive
2166-30 bronze tone
2149-20 g.i. green
2092-40 texas rose
HC-130 webster green
2149-10 newt green
2144-10 guacamole
2159-10 dash of curry
2091-40 red river clay
2093-30 colonial brick

2158-10 dried mustard
2089-10 iron ore red
2173-30 salmon stream
2090-30 terra cotta tile
2084-20 maple leaf red
2091-20 rustic brick
2093-20 fresh clay
2005-20 hot apple spice
2092-30 boston brick

Cinnamon Fern Lots 1-11 and 18-40

HC-4 hawthorne yellow
2150-50 hampton green
HC-2 beacon hill damask
HC-117 hancock green
HC-1 castleton mist
HC-120 van alen green
2170-50 teacup rose
HC-144 palladian blue
2146-40 pale avocado
HC-147 woodlawn blue
2166-50 creamy orange
HC-12 concord ivory
HC-119 kittery point green
2145-40 fernwood green
HC-116 guilford green
2147-40 dill pickle
2154-40 york harbor yellow
2167-40 toffee orange
2159-40 amber waves
HC-52 ansonia peach
2160-40 roasted sesame seed
2034-40 cedar green
2169-40 peach cobbler
2156-40 august morning
2166-40 soft pumpkin
2035-40 stokes forest green
2128-40 oxford gray
HC-129 southfield green
2154-30 buttercup
2117-40 tropical dusk
2159-30 apple crisp
2145-30 brookside moss
2157-30 butterscotch
2158-30 delightful golden
2151-30 ochre
2167-30 harvest moon

2170-30 autumn cover
2118-40 sea life
2154-20 spicy mustard
2147-20 olive moss
2089-30 pink mix
2157-20 golden harvest
2150-20 lichen green
2088-40 persimmon
2159-20 peanut butter
2089-20 rosy peach
2145-20 terrapin green
2006-30 rosy apple
HC-62 somerville red
2006-20 sangria
2146-10 dark celery
2041-30 green gables
2175-30 rust
2174-30 sedona clay
HC-127 fairmont green
2081-10 burnt peanut red
2145-10 avocado
2172-30 mexicana
2054-30 venezuelan sea
HC-66 garrison red
2052-30 tropical turquoise
2082-30 cherokee brick
2116-30 cabernet
2041-20 fiddlehead green
2055-20 pacific ocean blue
2085-20 pottery red
2062-30 blue danube
HC-156 van duesen blue
2117-30 shadow
2051-20 pine green
HC-61 new london burgundy
2049-20 oasis blue
2058-20 slate teal
2083-10 raisin torte
2054-20 beau green
2069-20 blackberry wine
2063-20 down pour blue
2057-20 galapagos
turquoise

Landscape Criteria and Requirements

This section supplements and clarifies information found in Patterns for Place-Making, *A Guide for the Creation of WaterColor*. The philosophy and information found in Section D also applies to Phase II lots in conjunction with the requirements listed in each neighborhood.

REQUIRED PROPERTY LINE ARTICULATION



— Post and Rail Fence
— Row Hedge at Property Line

PINE RIDGE

Front & Side Street Property Lines

The standard WaterColor post & rail fence shall be constructed on the front and side lot lines as shown in the adjacent Phase II diagram. A data sheet depicting post and rail details and specifications is available at the office of the DRB Administrator.

A hedge shall be planted by Arvida in the side yard easements of lots 12 and 13 at Pine Needle Way.

Front Right-Of-Way (ROW) Landscaping

Install One Live Oak (*Quercus virginiana*) with a minimum trunk diameter caliper of 3½ inches in the front ROW.

All plant selections proposed for the front ROW area shall come from the list of Right-Of-Way plants included in this section.

Irrigation of the front ROW is to be installed and maintained by the owner.

No grasses are permitted in the ROW.

The Developer will install landscaping in the side street ROW for lots 12 and 13 at Pine Needle Way.

Landscape Design within the Property Lines

See *A Guide for the Creation of WaterColor*, page D2 for Upland Transitional Forest and Lake Edge Transitional Forest Zone descriptions and pages D9 and D10 for additional plant palettes.

Grasses are to be used only as specimen plants.

LAKE FOREST

Front & Side Street Property Lines

The standard WaterColor post & rail fence shall be constructed on the front and side lot lines as shown in the adjacent Phase II diagram. A data sheet depicting post and rail details and specifications is available at the office of the DRB Administrator.

A hedge shall be planted by Arvida in the side yard easements for lots 9, 18, 19, 26, 27, 30, 31, 36 and 37, that provide direct access to the Park and Camp WaterColor.

Front and Side ROW Landscaping

Each lot on Western Lake Drive shall install two Live Oaks (*Quercus virginiana*) with a minimum trunk diameter caliper of 3½ inches. One oak is to be planted in the front ROW, the other shall be placed just behind the post and rail fence in the setback zone of lots that face Western Lake Drive and West Lake Forest Drive. Coordinate the precise locations with Arvida.

All plant selections proposed for the front ROW area shall come from the list of Right-Of-Way plants included in this section.

Irrigation of the front ROW is to be installed and maintained by the owner.

No grasses are permitted in the ROW.

The developer shall landscape the side street ROW areas for lots 9, 18, 19, 26, 27, 30, 31, 36 and 37.

Landscaping within the Property Lines

See *A Guide for the Creation of WaterColor*, Section D and especially pages D2, D9 and 10 for landscape zones, philosophy and materials.

Grasses are to be used only as specimen plants.

Landscape Criteria and Requirements

EASTERN COVE

Front & Side Street Property Lines

The standard WaterColor post & rail fence shall be constructed on the front and side lot lines as shown in the Phase II diagram on page 26. A data sheet depicting post and rail details and specifications is available at the office of the DRB Administrator.

Arvida will design and install the side yard ROW areas of lots 5, 6, 10, 11, 15, 16, 41 and 42 adjacent to the pedestrian path. The design shall consist of a natural path, trees, groundcover and a hedge. All materials will be installed within the ROW and the hedge will abut the property line.

Arvida will install a hedge on the side street property line of lot 26 as shown in the Phase II diagram.

Front & Side ROW Landscape

Each lot on Red Cedar Way and Spartina Circle shall install one Live Oak (*Quercus virginiana*) with a minimum trunk diameter caliper of 3½ inches.

Lots 23 and 24 shall install three additional 3½ inch caliper Live Oaks along the front ROW that faces the median on Red Cedar Way and two additional 3½ inch caliper Live Oaks along the side ROW that faces West Lake Forest Drive. Lots 25 and 34 shall install three additional 3½ inch caliper Live Oaks on the side street ROW at Acorn Way.

Lots 44, 45, 48, 49 and 52 shall plant two Live Oaks at a minimum trunk diameter caliper of 3½ inches in the side ROW.

All plant selections proposed for the front ROW area shall come from the list of Right-Of-Way plants included in this section.

Except for areas planted by Arvida, irrigation of the front and side Right-of-Ways is to be installed and maintained by the Owner.

No grasses are to be planted in the ROW area.

Landscape Inside Property Lines

See A Guide for the Creation of WaterColor , Section D and especially pages D2, D9 and 10 for landscape zones, philosophy and materials.

Grasses are to be used only as specimen plants.

CINNAMON FERN

Front & Side Street Property Lines

The standard WaterColor post & rail fence shall be constructed on the front and side lot lines as shown in the Phase II diagram on page 26. A data sheet depicting post and rail details and specifications is available at the office of the DRB Administrator.

A hedge shall be planted by Arvida in the side yard easements for lots 8, 9, 20, 21, 24, 25, 27, 28, 32, and 33.

Front & Side ROW Landscaping

Each lot facing Spartina Circle and Pond Cypress Way shall install one Live Oak (*Quercus virginiana*) with a minimum trunk diameter caliper of 3½ inches.

Lots 11, 14, 15 and 18 shall install two Live Oaks with a minimum trunk diameter caliper of 3½ inches in the side ROW.

Arvida will design and install landscaping in the side ROW for lots 9, 20, 21, 24, 25, 27, 28 and 32.

All plant selections proposed for the ROW area shall come from the list of Right-Of-Way plants included in this section.

Except where the landscape is to be installed by Arvida, irrigation of the ROW is to be installed and maintained by the owner.

No grasses are to be planted in the ROW area.

Landscape Inside Property Line

See A Guide for the Creation of WaterColor , Section D and especially pages D2, D9 and 10 for landscape zones, philosophy and materials.

Grasses are to be used only as specimen plants.

MERE RIDGE

Front & Side Street Property Lines

The standard WaterColor post & rail fence shall be constructed on the front and side lot lines as shown in the Phase II diagram on page 26. A data sheet depicting post and rail details and specifications is available at the office of the DRB Administrator.

Front & Side ROW Landscape

Each lot on West Lake Forest Drive, Thicket Circle and Pond Cypress Circle shall install one Live Oak (*Quercus virginiana*) with a minimum trunk diameter caliper of 3½ inches in the front ROW.

Lots 11, 15, 18 and 21 on West Lake Forest Drive and Pond Cypress Circle shall install two Live Oaks with a minimum truck diameter caliper of 3½ inches in the side yard ROW.

Lots 1 and 10 shall install two Live Oaks with a minimum trunk diameter caliper of 3½ inches. One oak is to face Thicket Circle and one oak is to face West Lake Forest Drive.

All plant selections proposed for the ROW area shall come from the list of Right-Of-Way plants included in this section.

Irrigation of the ROW is to be installed and maintained by the owner.

No grasses are to be planted in the ROW area.

Landscape Inside Property Line

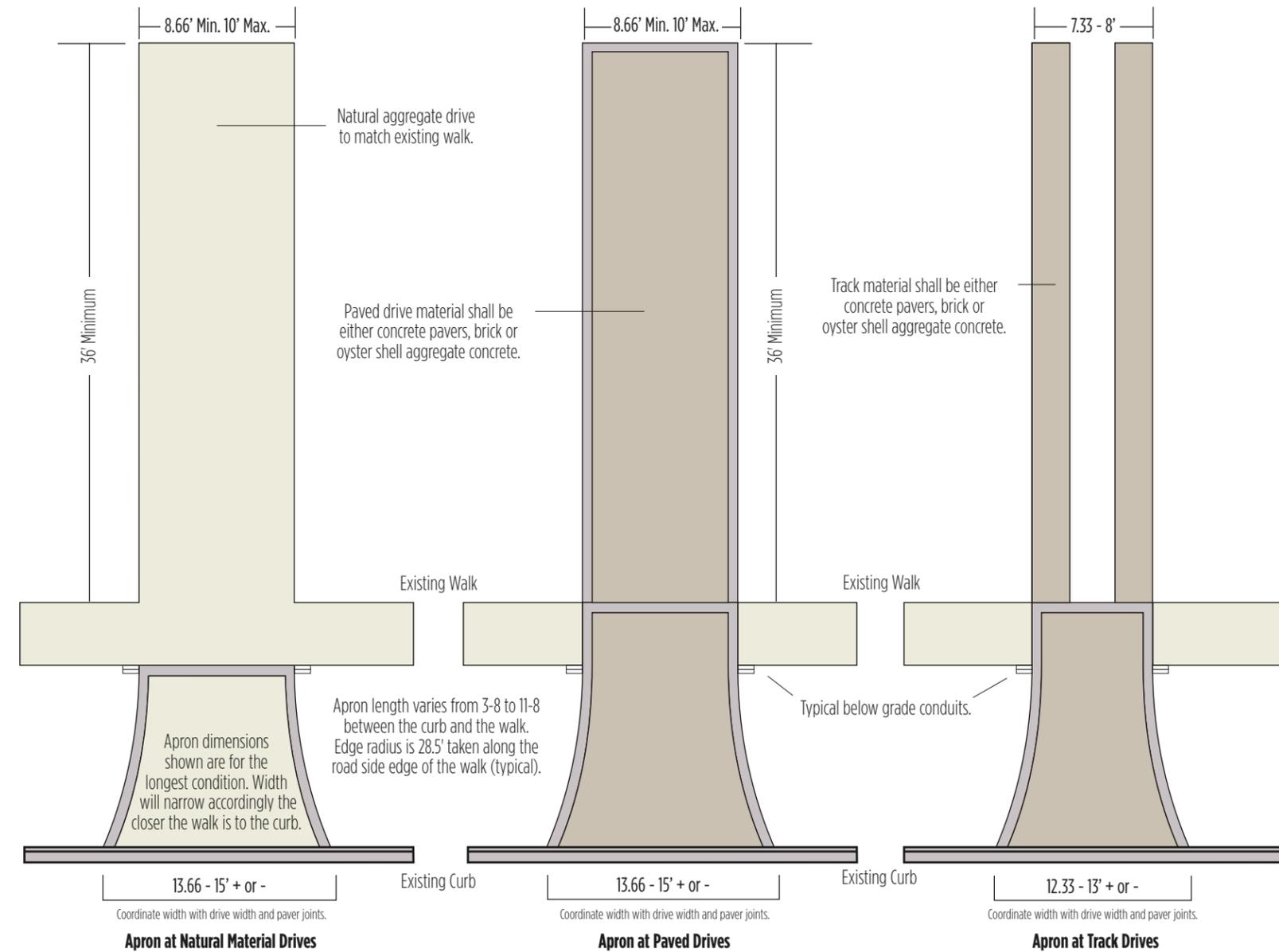
See A Guide for the Creation of WaterColor , Section D and especially pages D2, D9 and 10 for landscape zones, philosophy and materials.

Grasses are to be used only as specimen plants.

Landscape Criteria and Requirements

DRIVEWAYS

Houses with front loaded drives shall all install a uniform apron from the curb to the walk or property line as shown. The apron is to be designed and constructed with a restrained concrete paver border and a concrete paver field. Pavers are to match the WaterColor blend. Borders are to match the existing paver adjacent to the curb. The field pattern can be running bond, herringbone or another approved design. All joints shall be coordinated and shown in plan along with the method of edge restraint. Each drive shall have two 2" PVC conduits below grade capped for future use adjacent to the road side edge of the walk in order to alleviate the need to demolish and reconstruct the drives when additional utilities are installed.



RIGHT-OF- WAY PLANTS

All proposed ROW plant material is to be selected from the following list:

- | | |
|--------------------------|--------------------------|
| ATLANTIC ST. JOHN'S WORT | HYPERICUM REDUCTUM |
| BEARGRASS | YUCCA FLACCIDA |
| BLAZING STAR | LIATRIS SPP. |
| SERENOA REPENS | SAW PALMETTO (GREEN) |
| SCRUB MINT | CONRADINA CANESCENS |
| RUSTY LYONIA | LYONIA FERRUGINEA |
| SPARKLEBERRY | VACCINIUM ARBOREUM |
| SILKGRASS | PITYOPSIS GRAMINIFOLIA |
| WOODY GOLDENROD | CHRYSOMA PAUCIFLOSCULOSA |
| MYRTLE OAK | QUERCUS MYRTIFOLIA |



Design Review

This section describes the procedure to achieve a house design that is approved for construction in WaterColor. The process has been refined to provide the property Owner and the retained Architect with an efficient method for the successful development of their property. The completed house shall be certified by the Architect to have been constructed in strict accordance with the approved construction documents. Terms used within this document:

Applicant: Property owner seeking to build or modify his property
Declarant: St. Joe/Arvida Company or its assignee
Architectural Consultant: Tim Reece, Phone: 850 231-7014
Arvida Landscape Architect: Stephen Greer: 850 231-6416
Reviewer: The WaterColor Design Review Board (DRB)
DRB Administrator: Grand Shores Management

Send all submissions to:

Grand Shores Management Group Inc.
Attn: Frank Hall
Design Review Board Administrator
1701 East County Hwy 30A, Suite 201
Santa Rosa Beach, FL 32459

Phone: 850 231-5838
850 231-4267 Fax

Email: fhall@grandshores.com

THE PROCESS:

1. Select a Florida Registered Architect and Landscape Architect from the Lists of Architects. Registered Architects other than those listed by the Declarant may only be employed after the Reviewer issues an approval letter affirming the proposed Architect's Application to design in WaterColor.
2. Prior to any submission, an initial meeting must be held between the Applicant's Architect and the Architectural Consultant. This meeting will seek to clarify the WaterColor design philosophy and design guidelines, the specific lot criteria and the review procedures in order to promote communication, reduce the time needed for approval and to maximize the potential to efficiently utilize the Owner's resources.

REVIEW SUBMISSIONS

1. The applicant shall submit a schematic architectural design (one set) to the Administrator of the Architectural Design Review Board. The Consultant will then determine the suitability of their WaterColor house. Preliminary plans shall include, but are not limited to:
 - a. Design Review Application

- b. Site plan at 1:20 minimum showing all trees with a caliper greater than four inches (4") at a height greater than 4 feet (4') above grade, all grades, horizontal and vertical improvements with pertinent dimensions, setbacks, easements, parking, etcetera

- c. Floor plans at 1/4 inch scale with appropriate notes and dimensions.

- d. All exterior elevations at 1/4 inch scale to completely define wall materials, windows, doors, trim, columns, finish floor (s) elevation (s), ceiling elevation (s), roof plate elevation, roof slope (s), roof materials etcetera.

- e. Non-refundable Application (Administration) fee made payable to WaterColor or its assign:

Architectural Review Fee	\$1200.00
Modifications to Existing Structures/Grounds	\$250.00
Additional Outbuilding Improvement	\$500.00

2. Incomplete submissions will not be reviewed. Upon acceptance, the Architectural Consultant will assist the Architect in order to produce documents that will be submitted to the Reviewer for approval.

APPLICATION REVIEW

1. As the plan progresses, the Consultant and Arvida Landscape Architect will perform the initial and subsequent reviews and provide reports to the owner and the relevant professionals. The exchange between the Architect, the Consultant and the Landscape Architect will continue until the Consultant certifies that the submission is complete and ready for the Design Review Board's consideration. The DRB will only review submissions that have been certified by the Consultant.
2. In order to provide a fair and efficient review of all submissions, all required materials for a final review must be received by the DRB Administrator one (1) week (5 working days) prior to the scheduled DRB meeting.

FINAL REVIEW SUBMISSION

1. Submit one (1) set of architectural drawings and specifications, dated, signed and sealed by the approved design professionals. The construction documents shall be complete and detailed so that all significant aspects of the construction are clearly identified and can be readily understood by construction professionals. The drawings shall all be a uniform size and they shall be bound in one set.
2. Once the design is approved by the DRB, the letter required by Walton County to initiate the permit application is contingent on the receipt of:

- a. One set of construction documents that is dated, signed and sealed, identical to the plans reviewed by the DRB and also identical to the documents to be approved for construction by the Walton County Building Department.

- b. One set of construction documents reduced to 11x17.

- c. Payment of the refundable Compliance Deposit.

- d. Payment of the non-refundable Construction Management Fee.

3. At a minimum, a uniform set of dimensioned and noted drawings shall include:

- a. Title Sheet

1. Project Name, Location, and Lot Number
2. Architect and professional consultant's identifications
3. Index of Drawings
4. Date

- b. A Certified Site Survey

- c. Dimensioned Site Plans: Scale in size appropriate to show detail but not less than 1" = 20' 0", indicating:

1. Access street (s) and walkway (s), drives and other exterior improvements, including material and color
2. Parking depicting the correct number of on property parking spaces for the size of the house
3. Grading plan
4. Fill plan, if any (indicating run-off and tree preservation method)
5. Exterior lighting plan
6. Utility services, water, power, telephone, cable, gas; show all existing service pedestals
7. Tree survey showing location and species of trees four inches (4") or larger in diameter at a point four feet (4') above ground
8. Dimensioned building plan to scale, overlaid on tree survey indicating all structures and other improvements to be included in the scheme with an indication of trees to remain and trees to be removed (at the same scale as boundary/tree survey)
9. Location and identification of any special features
10. Mechanical equipment showing location and screening details
11. Location of contractor ID sign, outdoor toilet facility and dumpster also showing the size and color.
12. Location of the standard WaterColor address post

- d. Floor Plans: 1/4 inch minimum scale drawings with an exact square footage (SF) computation for each floor showing conditioned and non-conditioned areas separately along with finished floor elevations.

Design Review

START of CONSTRUCTION

1. Upon receiving a letter of intent to issue the Letter of Final Approval, the Contractor shall arrange a pre-clearing conference at the lot with the Administrator to review the stakeout along with clearing and construction procedures. Once the site conference is accomplished and all fees are paid, the Letter of Final Approval will be issued. The Owner and/or Contractor may then apply to The Walton County Building Department for a permit. Upon receipt of the permit, the Contractor may start construction. The Reviewer reserves the right to field inspect for compliance during any stage of the construction.

FINAL APPROVAL

1. Upon completion of construction and before applying for a Walton County Certificate of Occupancy, submit the following to the DRB Administrator:
 - a. Final survey certificate sealed by the surveyor
 - b. As-built set of drawings showing hidden utility conditions and any approved modifications to the approved documents
 - c. Certificate of Construction Compliance Sealed by the Architect
2. Upon inspection by the Reviewer that all improvements have been constructed in accordance with the plans approved by the DRB, the Reviewer will issue a Certificate of Process Completion. **No residence within WaterColor may be occupied by any person until the Reviewer issues a Certificate of Process Completion.** Upon issuance of this Certificate, the Reviewer will refund the Compliance Deposit commensurate with the construction compliance.
3. Presentation of the Certificate of Process Completion to the Building Department within the Growth Management Division of Walton County is necessary to acquire a Walton County Certificate of Occupancy.

Design Review

All plans, dimensions, improvements, amenities, features, uses, specifications, materials and availability depicted herein are subject to change without notice. Illustrations are artist's depictions only and may differ from completed improvements.

These architectural guidelines are not intended to be a complete list of all criteria that must be satisfied in connection with construction of improvements. Compliance with these architectural guidelines does not assure approval of any particular designs. Arvida reserves the right to approve particular designs which vary from or otherwise do not comply with these architectural guidelines.

These architectural guidelines are a mechanism for maintaining and enhancing the overall aesthetics of WaterColor; they do not create any duty to any person. Review and approval of any designs may be based on aesthetic considerations only. Arvida shall not bear any responsibility for ensuring the structural integrity or soundness of approved construction or modifications, for ensuring compliance

with building codes and other governmental requirements, or for ensuring that every structure is of comparable quality, value, or size, of similar design, or aesthetically pleasing or otherwise acceptable to other owners of property in the WaterColor community. Arvida makes no warranty, express or implied, that the information or guidelines contained herein are suitable for any particular use, and hereby disclaims any liability in connection with the use of this information.

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